



CITY OF CHARLESTON

Board of Architectural Review

May 27, 2009 4:30PM

DEPARTMENT OF PLANNING, PRESERVATION AND SUSTAINABILITY

Agenda Item 1:

250 Coming Street

Final Review for Demolition of Two-Story Residential Structure

Category 4 / Cannon-Elliottborough / Old City District



















Agenda Item 2:

14 Colonial Street

Final Review for Demolition of Non-Historic Shed at Rear

Not Rated / Charlestowne / Old and Historic District







02.13.2009 10:12







Agenda Item 3:

19 East Battery

Final Review for Demolition of Chimney

Category 4 / Charlestowne / Old and Historic District











Agenda Item 5:

1 New Street

Request One-Year Extension of New Construction of Single-family
Residence (Originally Granted June 29, 2007)

Charlestowne / Old and Historic District



Agenda Item 6:

84 Tradd Street

Conceptual Review for Modifications to Existing Rear Addition

Category 3 / Charlestowne / Old and Historic District





Addition

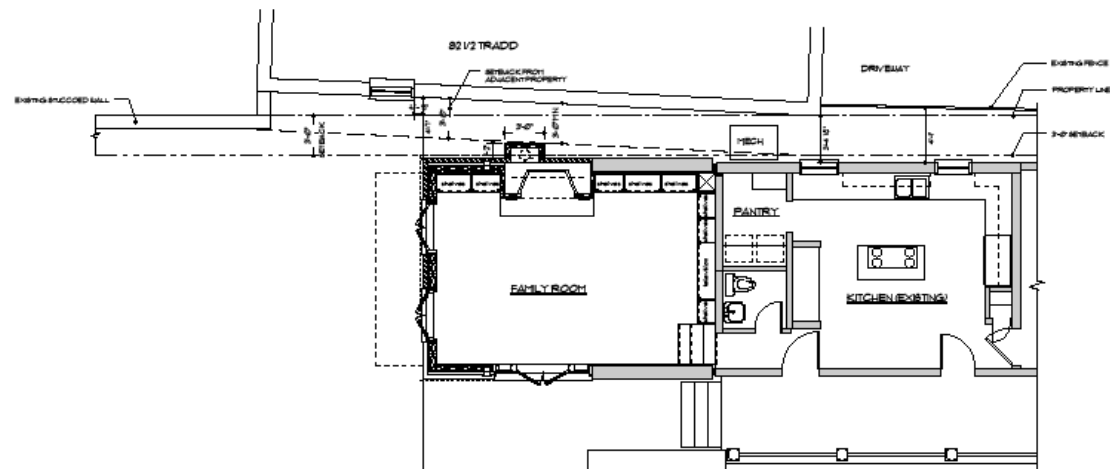
84



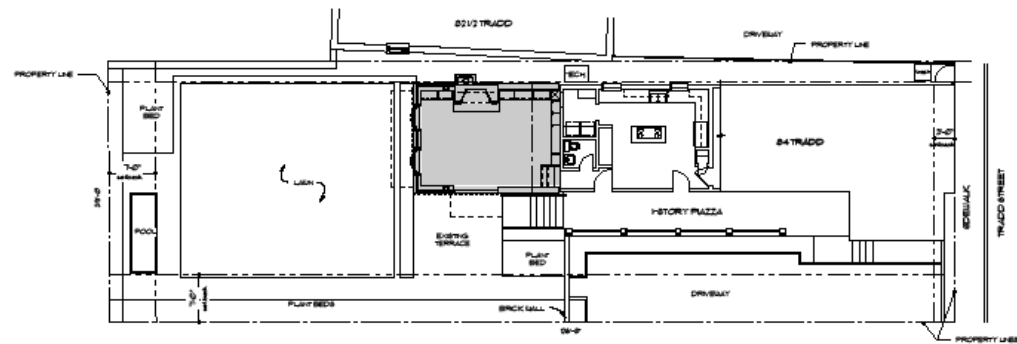








2 ENLARGED PLAN
SCALE: 1/8" = 1'-0"



1 SITE PLAN
SCALE: 1/8" = 1'-0"

ZONING:
SR-5
35% ALLOWABLE LOT COVERAGE
SETBACKS: 5' NORTH, 4' EAST, 7' SOUTH, 4' WEST
LOT AREA: 4945 SF
TOTAL FOOTPRINT AREA:
AS BUILT: 1606 SF (HOUSE + PAZZA)
PERCENTAGE LOT COVERAGE: 3.43%
PROPOSED: 1700 SF (HOUSE + PAZZA)
PERCENTAGE LOT COVERAGE: 3.44%
NET LOT COVERAGE CHANGE: 0.1%

HALF SIZE

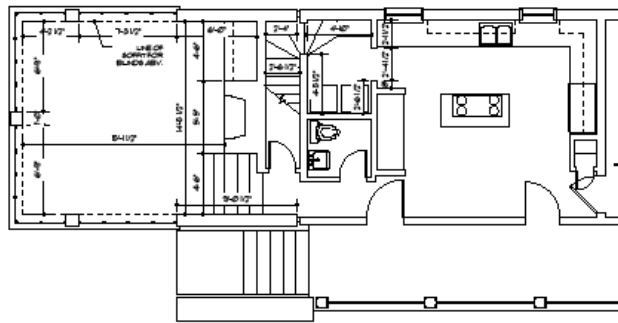
Glenn Keyes
Architects
1115 North 1st Street
Charleston, SC 29401
Tel: (843) 722-4100
Fax: (843) 722-4100

Modifications to
The Casey House
The Hurd Residence
84 Tradd Street
Charleston, South Carolina
29401

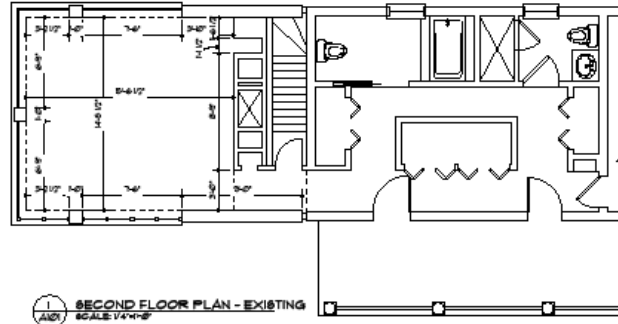
SITE PLAN

PROJECT NUMBER
0703
DRAWING DATE
5/18/03
SHEET NUMBER

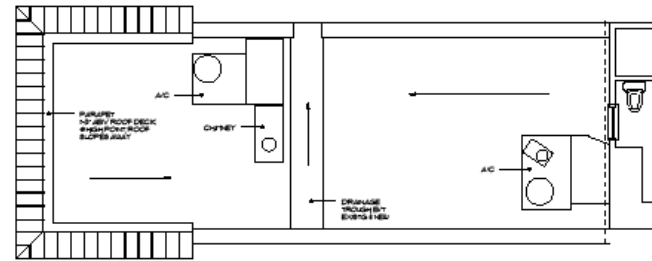
A001



2
A101
FIRST FLOOR PLAN - EXISTING
SCALE 1/4"=1'-0"



1
A101
SECOND FLOOR PLAN - EXISTING
SCALE 1/4"=1'-0"



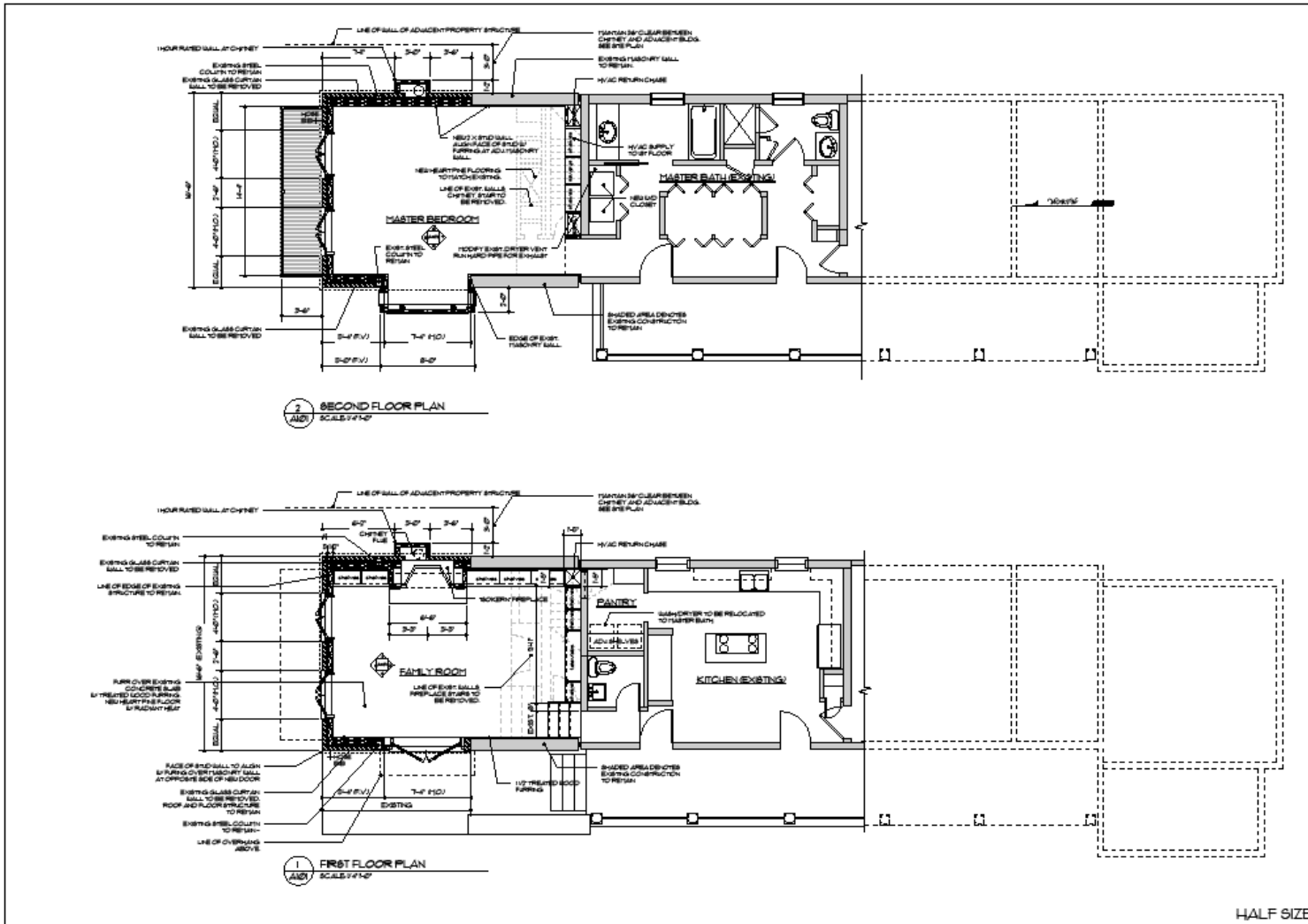
3
A101
ROOF PLAN
SCALE 1/4"=1'-0"

Glenn Keyes
Architects
101 University Blvd
Charleston, SC 29405
Tel: 770.222.4100
Fax: 770.222.1211

Modifications to
The Casey House
The Hurd Residence
84 Tradd Street
Charleston, South Carolina
29401

EXISTING FLOOR PLANS

PROJECT NUMBER
0703
ISSUING DATE
5/18/09
SHEET NUMBER
E-A101



Glenn Keyes
Architects

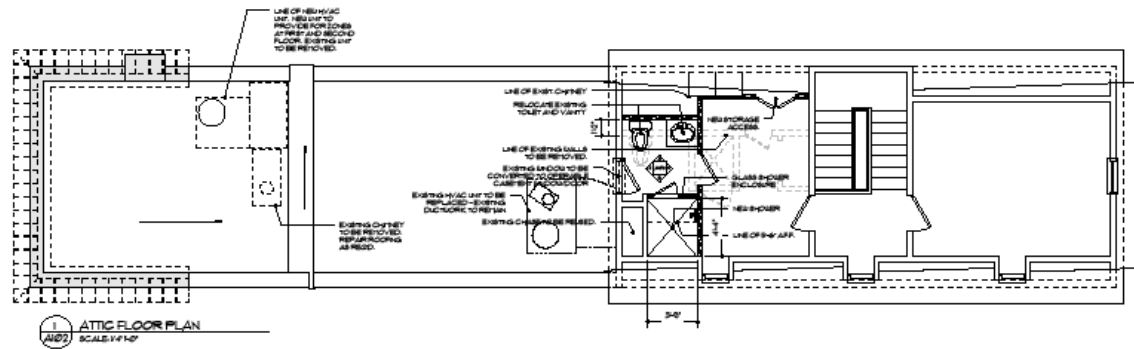
Modifications to
The Casey House
The Hurd Residence
84 Tradd Street
Charleston, South Carolina
29401

FLOOR PLANS

PROJECT NUMBER
07103

DRAWING DATE
5/18/09

SHEET NUMBER
A101



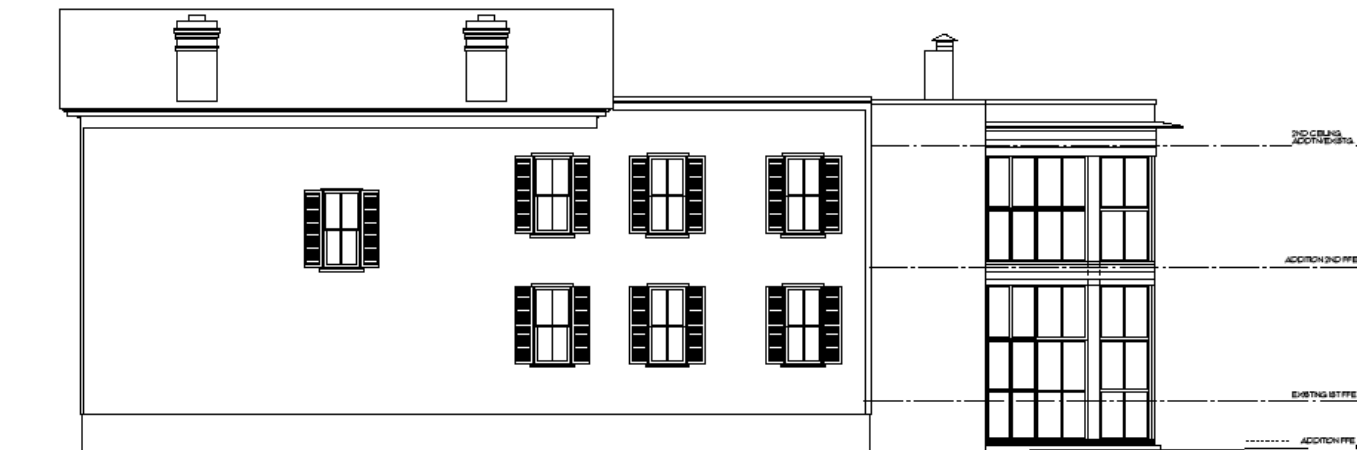
HALF SIZE

Glenn Keyes
Architects
1100 10th Street
Charleston, SC 29401
Tel: 772.222.4100
Fax: 772.222.1221

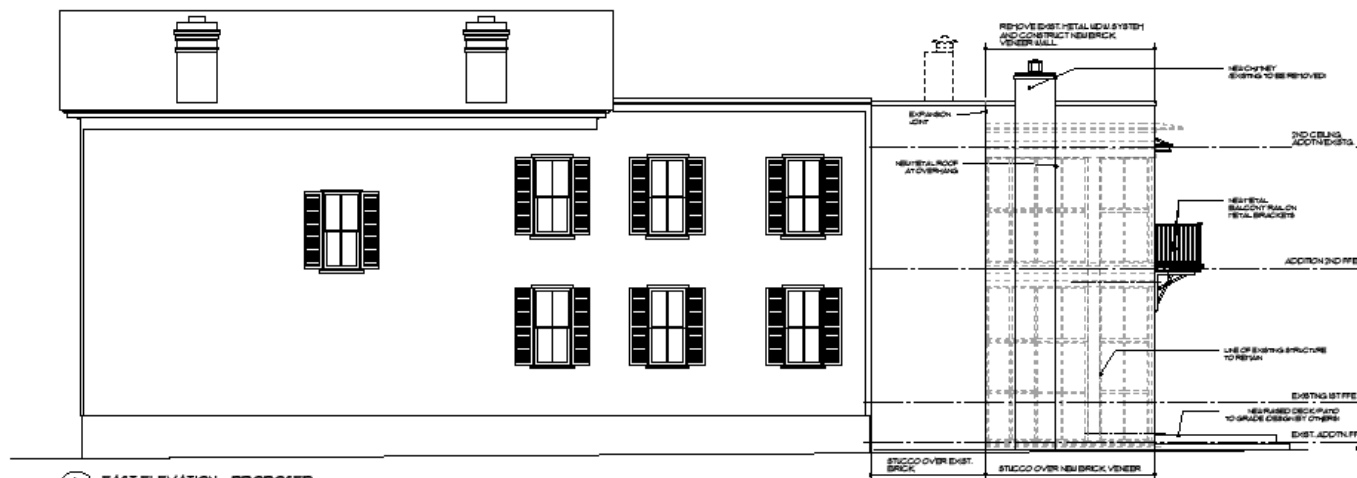
Modifications to
The Casey House
The Hurd Residence
84 Tradd Street
Charleston, South Carolina
29401

FLOOR PLANS

PROJECT NUMBER
0703
DRAWING DATE
5/18/09
SHEET NUMBER
A102



2 EAST ELEVATION - EXISTING
SCALE 1/4"=1'-0"



1 EAST ELEVATION - PROPOSED
SCALE 1/4"=1'-0"

HALF SIZE

Glenn Keyes
Architects
115 West 10th Street
Charleston, SC 29401
Tel: 843.722.4100
Fax: 843.722.1211

Modifications to
The Casey House
The Hurd Residence
84 Tradd Street
Charleston, South Carolina
29401

EXTERIOR ELEVATIONS
EXISTING/PROPOSED

PROJECT NUMBER
0703

DRAWING DATE
5/18/09

SHEET NUMBER
A203



2 WEST ELEVATION EXISTING
SCALE 1/4"=1'-0"



1 WEST ELEVATION PROPOSED
SCALE 1/4"=1'-0"

HALF SIZE

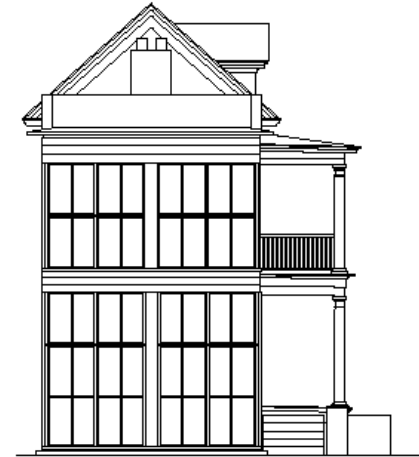
Glenn Keyes
Architects
1111 University Blvd. Suite 400
Charleston, SC 29401
Tel: 843.722.4100
Fax: 843.722.4100

Modifications to
The Casey House
The Hurd Residence
84 Tradd Street
Charleston, South Carolina
29401

EXTERIOR ELEVATIONS
EXISTING/PROPOSED

PROJECT NUMBER
0703
DRAWING DATE
5/18/09
SHEET NUMBER

A201



2 NORTH ELEVATION- EXISTING
SCALE 1/4"=1'-0"



1 NORTH ELEVATION-PROPOSED
SCALE 1/4"=1'-0"

HALF SIZE

Glenn Keyes
Architects
1015 University Blvd.
Charleston, SC 29405
Tel: 781.222.4100
Fax: 781.222.1211

Modifications to
The Casey House
The Hurd Residence
84 Tradd Street
Charleston, South Carolina
29401

EXTERIOR ELEVATIONS
EXISTING/PROPOSED

PROJECT NUMBER
0703
DRAWING DATE
5/18/09
SHEET NUMBER

A202



Agenda Item 7:

50 Chapel Street

Preliminary Review for Renovation of Existing Residence and New
Construction of Two-Story Rear Addition

Category 4 / Mazyck-Wraggborough / Old and Historic District



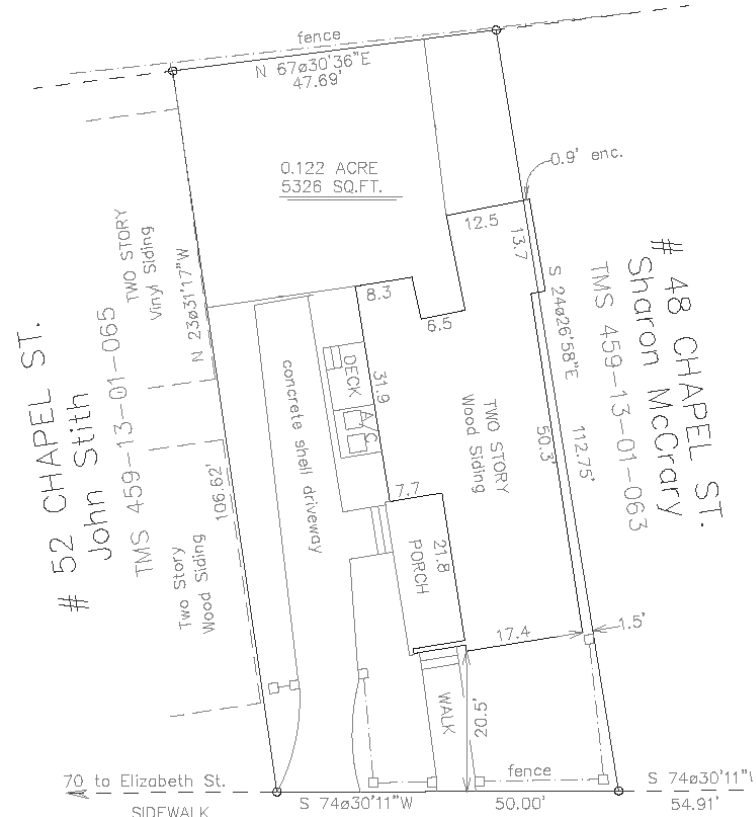




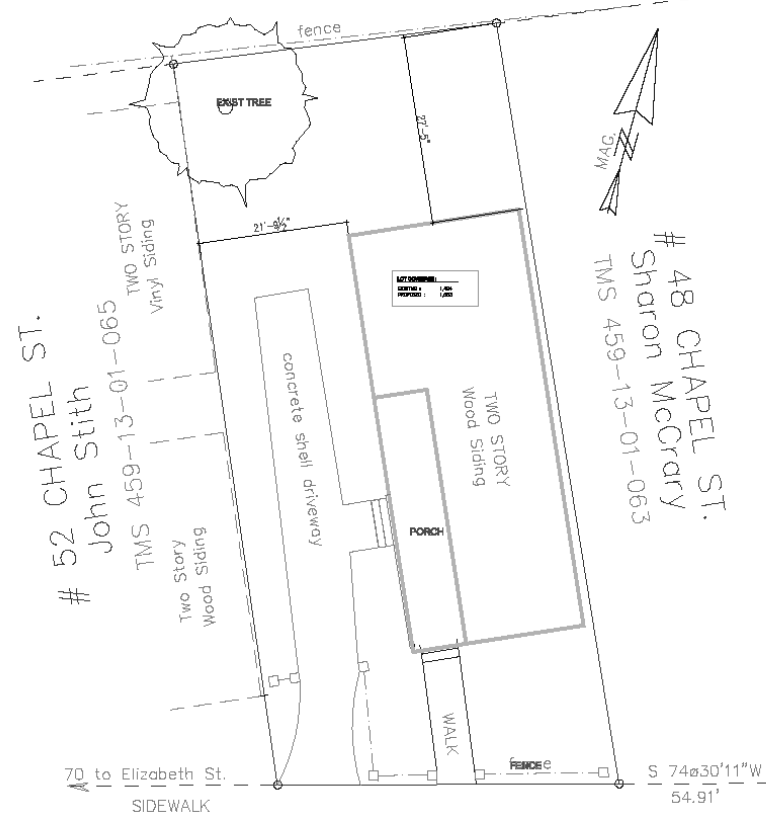




CITY OF CHARLESTON PLAYGROUND
TMS 459-13-01-038

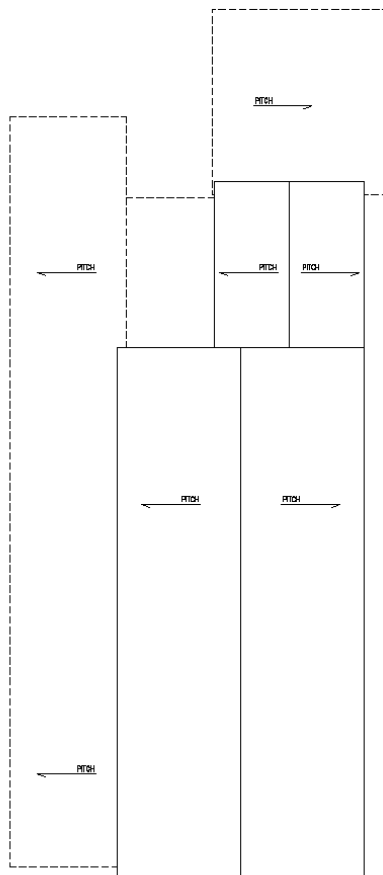


CITY OF CHARLESTON PLAYGROUND
TMS 459-13-01-038

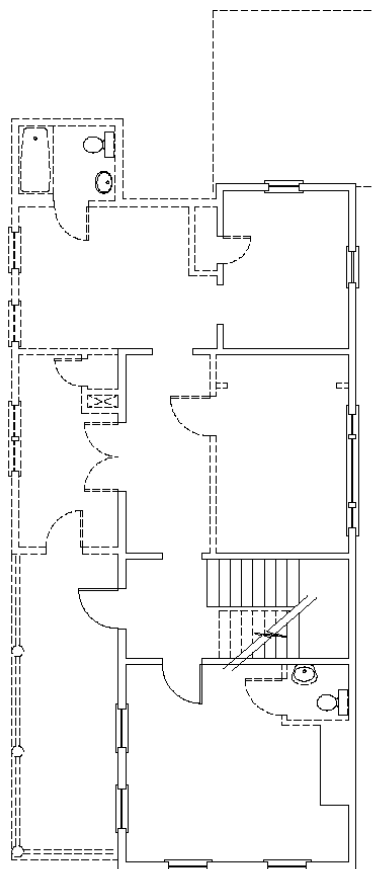


not for construction

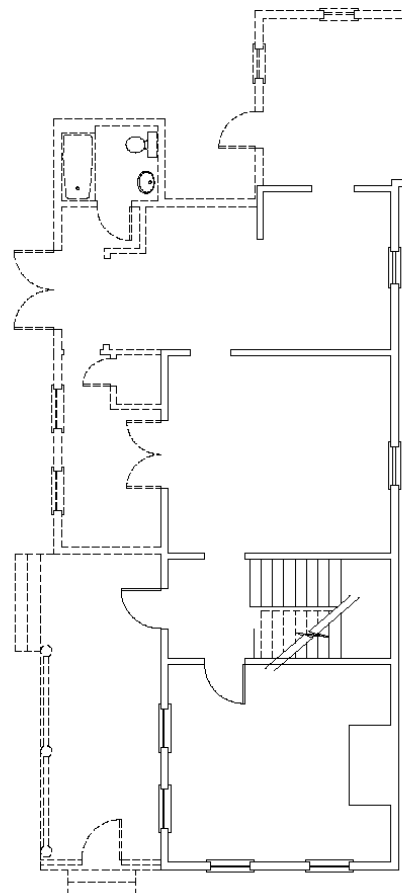
<p>heather a. wilson</p> <p>heather a. wilson 32 logan street charleston south carolina 29403 t. 843.784.1201 heather.wilson@gmail.com</p>	<p>HEATHER WILSON ARCHITECT</p>	<p>DEW RESIDENCE</p> <p>PROJECT TITLE AND ADDRESS 50 chapel street charleston sc 29403</p>	<p>DATE CONCEPTUAL DATE may 18, 2008 DRAWN BY TWS SCALE 3/32"=1'-0"</p>	<p>DATE A0 PROJECT TITLE site plan</p>
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ROOF PLAN



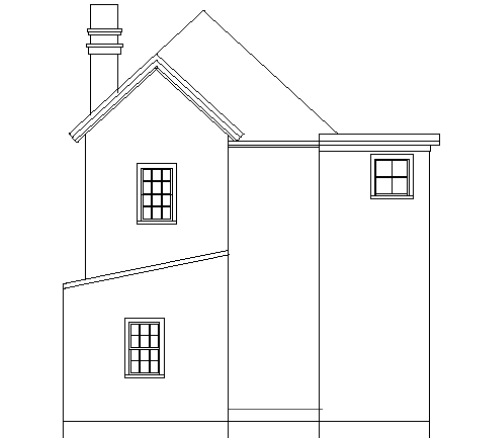
SECOND FLOOR PLAN



FIRST FLOOR PLAN

not for construction

<p>heather a. wilson heather a. wilson 32 logans road charleston, south carolina 29403 t. 843.767.1201 haw@wilsonarchitect.com</p>	<p>HEATHER WILSON ARCHITECT</p>	<p>DEW RESIDENCE PROJECT TITLE AND ADDRESS 50 chapel street charleston, sc 29403</p>	<p>DATE: preliminary DATE: may 18, 2009 DRAWN BY: haw</p>	<p>SCALE: 3/16"=1'-0".</p>	<p>DATE: MAY 18, 2009 A1.0 SHEET TITLE: demo plans</p>
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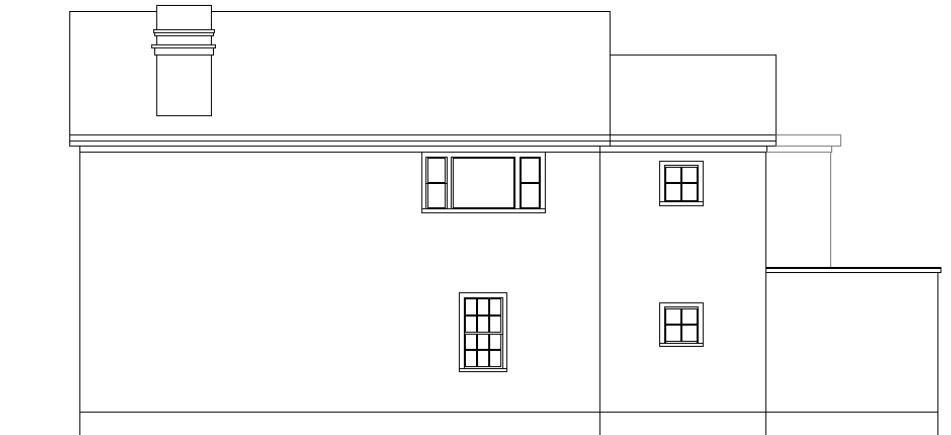
EXIST. REAR ELEVATION (north)

SCALE 1/8"=1'-0"



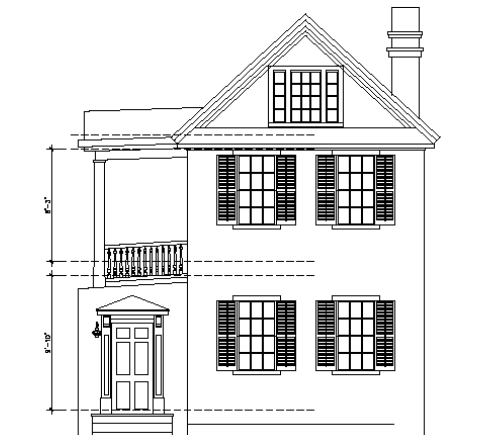
EXIST. SIDE ELEVATION (west)

SCALE 1/8"=1'-0"



EXIST. SIDE ELEVATION (east)

SCALE 1/8"=1'-0"



EXIST. FRONT ELEVATION (south)

SCALE 1/8"=1'-0"

not for construction

heather a. wilson

heather a. wilson
32 logans almad
charleston, south carolina 29403
t. 843.781.7201
hawaii.wilson@gmail.com

HEATHER WILSON
ARCHITECT

DEW RESIDENCE

PROJECT TITLE AND ADDRESS
50 chapel street
charleston, sc 29403

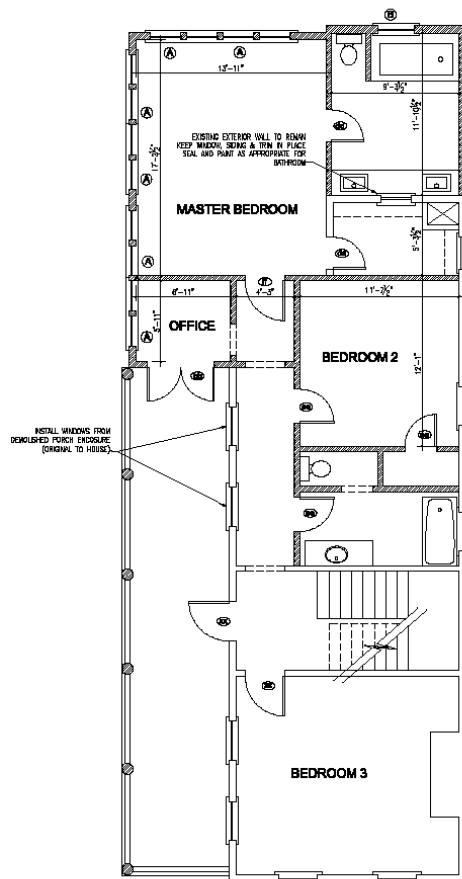
DATE:
CONCEPTUAL
DATE:
APR 13, 2008
DRAWN BY:
TAW

SCALE:
3/16"=1'-0"

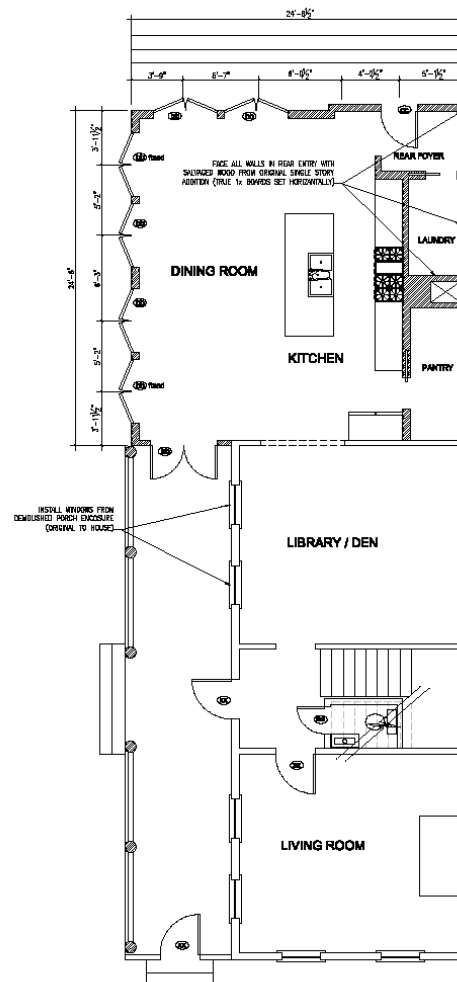
SHEET NO.:

A2.0

PROJECT TITLE
existing elevations



SECOND FLOOR PLAN



FIRST FLOOR PLAN

TOTAL HEATED SQ. FT.:

EXISTING : 2,788
PROPOSED : 2,842

PORCHES : 370
PROPOSED : 570

GENERAL NOTES:

SEE STRUCTURAL CHGS. FOR ALL FRAMING INFORMATION
HATCHES INDICATE NEW WALL CONSTRUCTION
ALL WALLS EXA CONSTRUCTION, UNLS
ALL DIMENSIONS TO FINISH

DOOR SCHEDULE

10	EXISTING DOOR TO REMAIN
11	3/0 7/8 4 PANEL SOLID WOOD DOOR
12	3/0 7/8 PAIR 1/2 LITE FRENCH TEMPERED
13	2/8 7/8 4 PANEL SOLID WOOD DOOR
14	2/4 7/0 4 PANEL SOLID WOOD DOOR
15	2/8 7/0 4 PANEL SOLID WOOD DOOR
16	2/8 7/0 4 PANEL SOLID WOOD DOOR

WINDOW SCHEDULE

17	EXISTING WINDOW TO REMAIN
18	2/2 4/4 DBL. HUNG WINDOW
19	2/8 4/8 DBL. HUNG TEMPERED
20	2/8 5/4 DBL. HUNG WINDOW TO MATCH EXIST.

heather a. wilson

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hawaii.wilson@gmail.com

HEATHER WILSON
ARCHITECT

DEW RESIDENCE

PROJECT TITLE AND ADDRESS
50 chapel street
charleston, sc 29403

DATE:
PRELIMINARY
DATE:
MAY 18, 2009
DRAWN BY:
TAMM

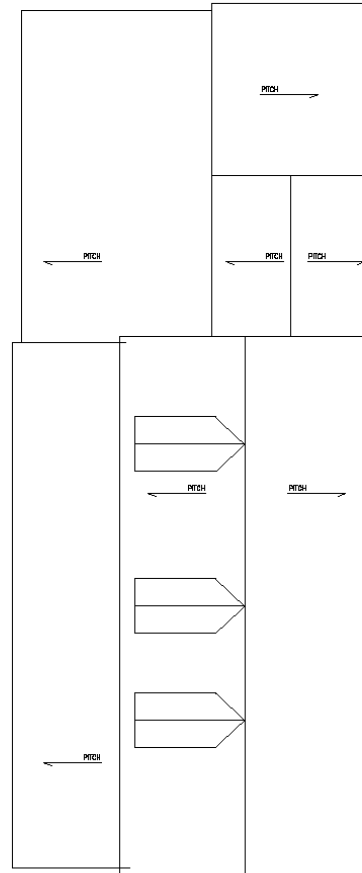
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3/8"=1'-0"

SHEET NO.:

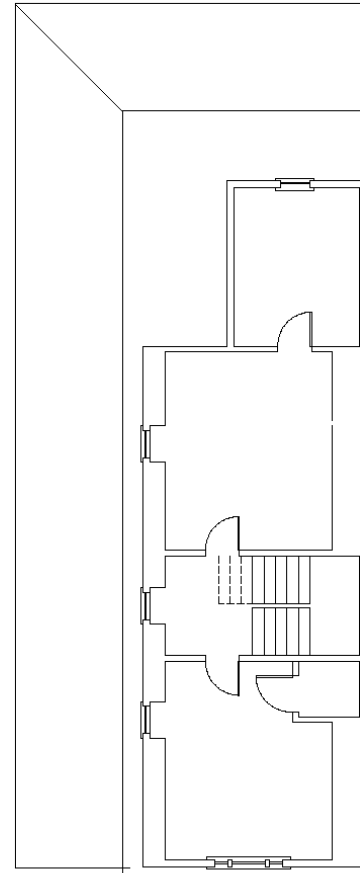
A1.1

PROJECT TITLE
floor plans

not for construction



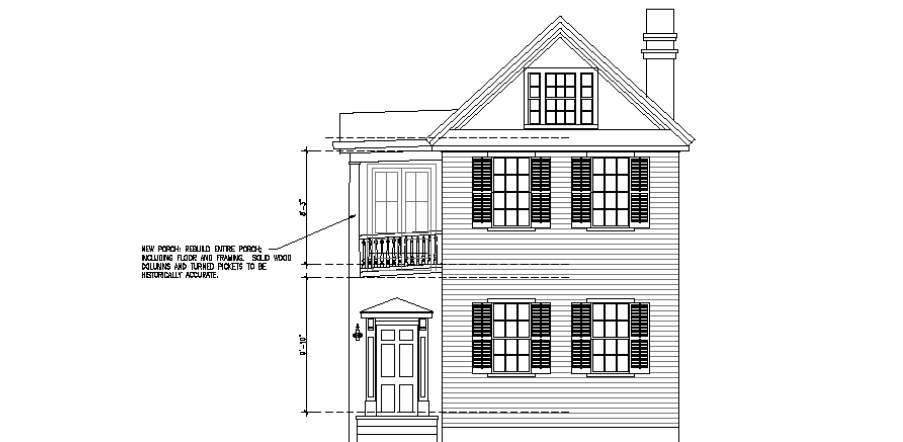
ROOF PLAN



THIRD FLOOR PLAN

not for construction

<p>heather a. wilson heather a. wilson 32 logans almad charleston south carolina 29403 t. 843.767.1201 hawes.wilson@gmail.com</p>	<p>HEATHER WILSON ARCHITECT</p>	<p>DEW RESIDENCE <small>PROJECT TITLE AND ADDRESS</small> 50 chapel street charleston sc 29403</p>	<p>date: preliminary date: may 18, 2009 drawn by: haw</p>	<p>scale: 3/16"=1'-0"</p>	<p>sheet no.: A1.2 <small>sheet title</small> floor plans</p>
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PROPOSED FRONT ELEVATION (south)

SCALE 1/8"=1'-0"



PROPOSED SIDE ELEVATION (west)

SCALE 1/8"=1'-0"

GENERAL REPAIR NOTES

REPAIR AND REPAINT ALL WINDOWS. D.D.O.
REPAIR AS REQUIRED.
IN THE EVENT OF DAMAGE BEYOND REPAIR,
REPLACE W/ SOLID WOOD TRUE DAWG
LEFT WINDOW TO MATCH IN SIZE AND STYLE.

REPAIR WOOD SIDING AS REQUIRED. PAINT
ENTIRE STRUCTURE, INCLUDING ALL CORNERS
AND TRIM. IN THE EVENT OF CONFOUND
DAMAGE, REPLACE WOOD SIDING W/ HYDRO
LAP SIDING AND PROFILE.

NEW PORCH: REBUILD ENTIRE PORCH,
INCLUDING FLOOR AND FRAMING. SOLID WOOD
BALUNES AND TURNED PICKETS TO BE
HISTORICALLY ACCURATE.

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hawaii@heatherwilson.com

HEATHER WILSON
ARCHITECT

DEW RESIDENCE

PROJECT TITLE AND ADDRESS

50 chapel street
charleston, sc 29403

DATE:
CONCEPTUAL

DATE:
APR 13, 2009

DESIGN BY:
THW

SCALE:
3/16"=1'-0"

SHEET NO.:

A2.1

PROJECT TITLE
elevations

not for construction



PROPOSED REAR ELEVATION (north)

SCALE 1/8\"/>



PROPOSED SIDE ELEVATION (east)

SCALE 1/8\"/>



not for construction

heather a. wilson

heather a. wilson
32 logan street
charleston, south carolina 29403
t. 843.761.2201
hawaii.wilson@gmail.com

**HEATHER WILSON
ARCHITECT**

DEW RESIDENCE

PROJECT TITLE AND ADDRESS
50 chapel street
charleston, sc 29403

DATE:
CONCEPTUAL

DATE:
april 13, 2009

DESIGNED BY:
HW

SCALE:
3/16\"/>

DATE: MAY 11, 2009

A2.2

PROJECT TITLE
elevations



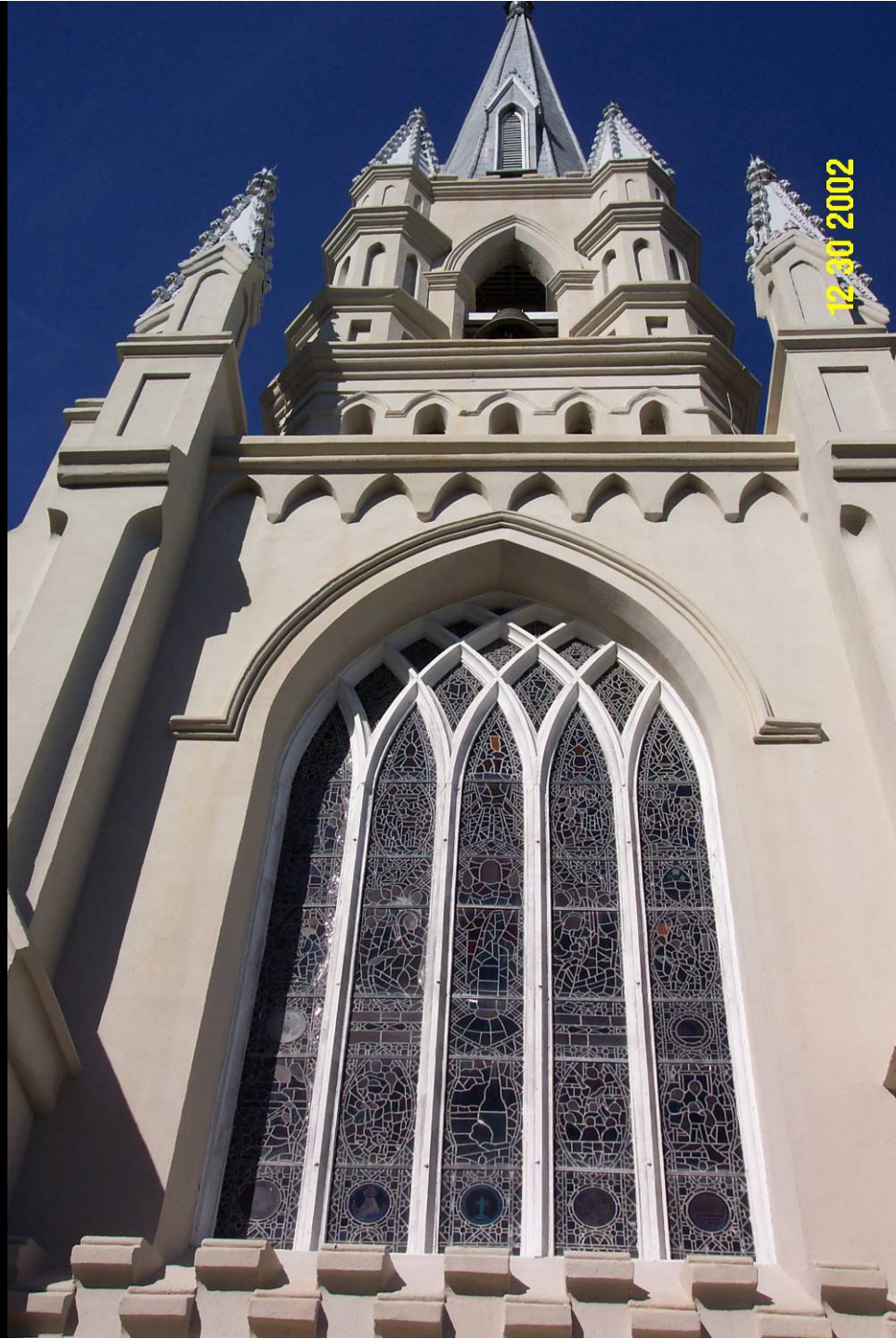
Agenda Item 9:

98 Wentworth Street
Grace Episcopal Church

Final Review to Add Exterior Lighting to Church Spire

Category 1 / Harleston Village / Old and Historic District





12/30/2002

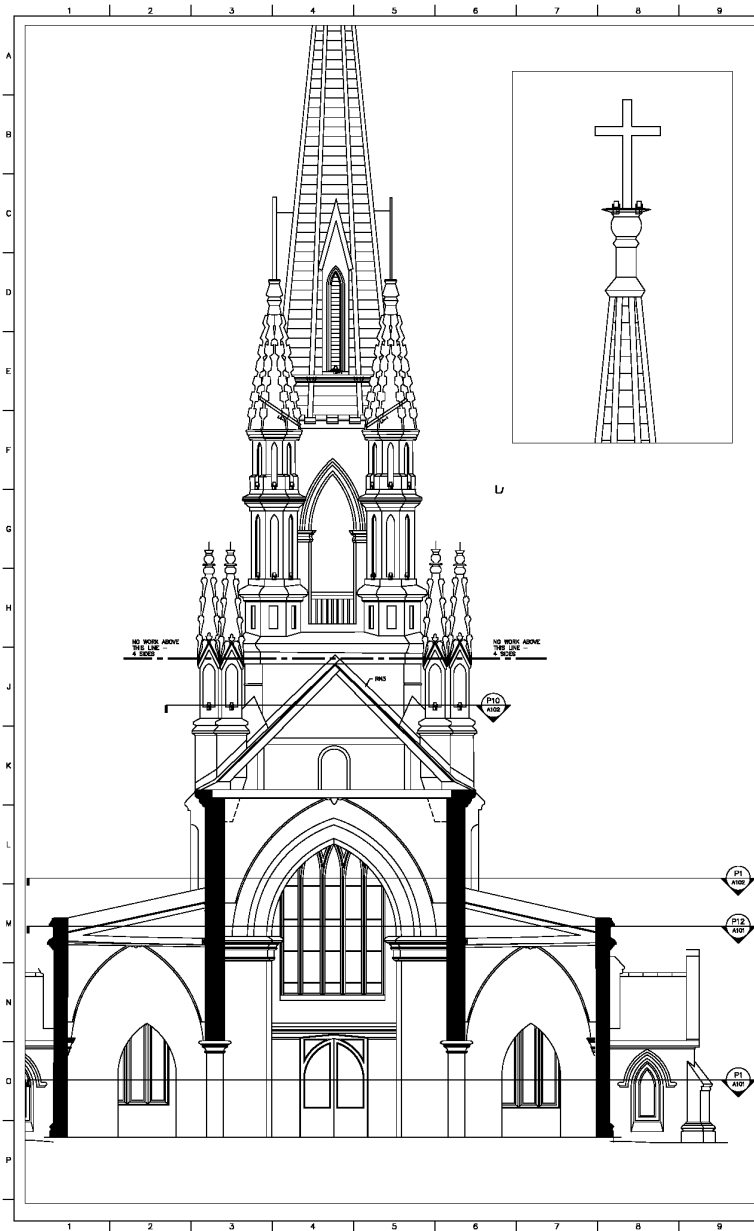




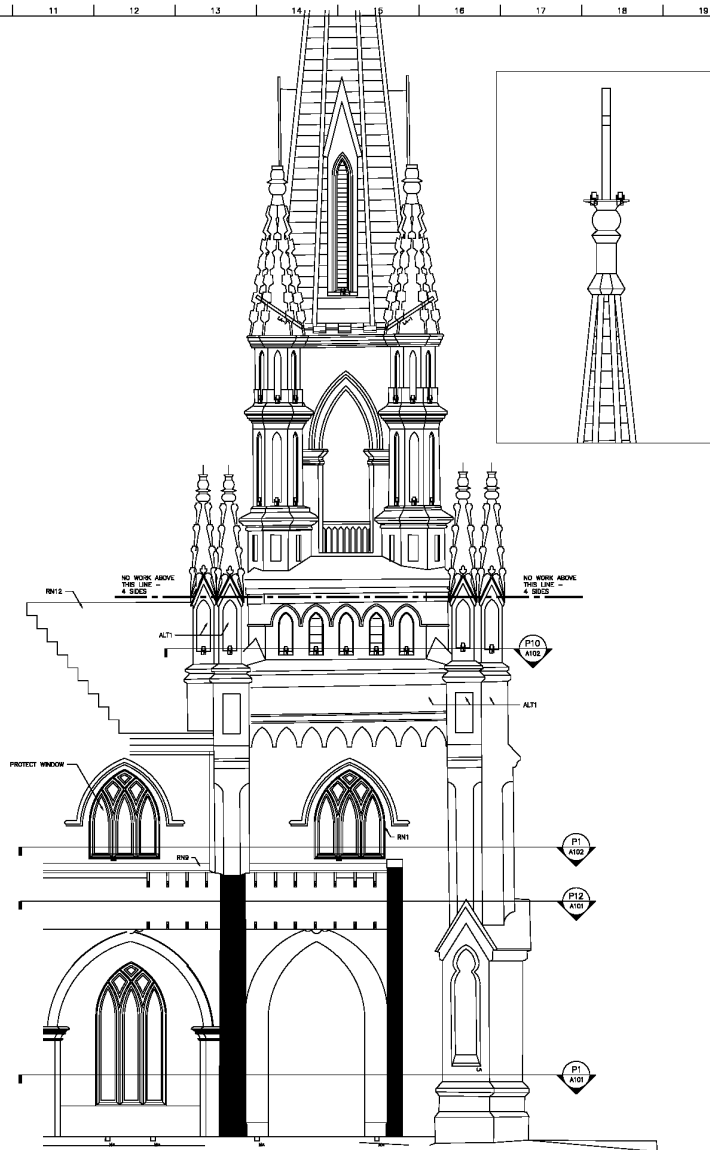








P10 NORTH ELEVATION
A202 SCALE: 1/4" = 1'-0"



REPAIR NOTES

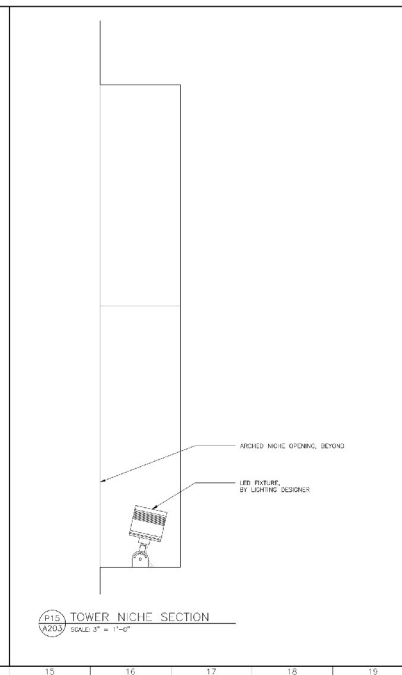
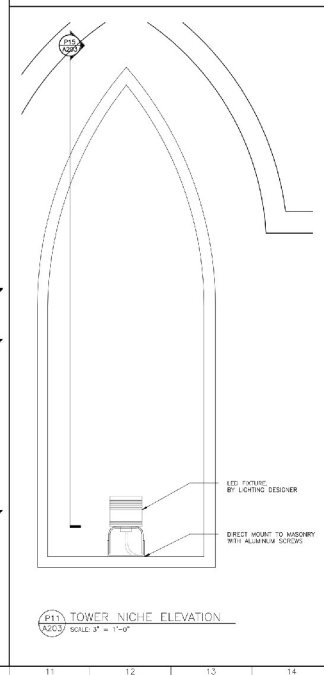
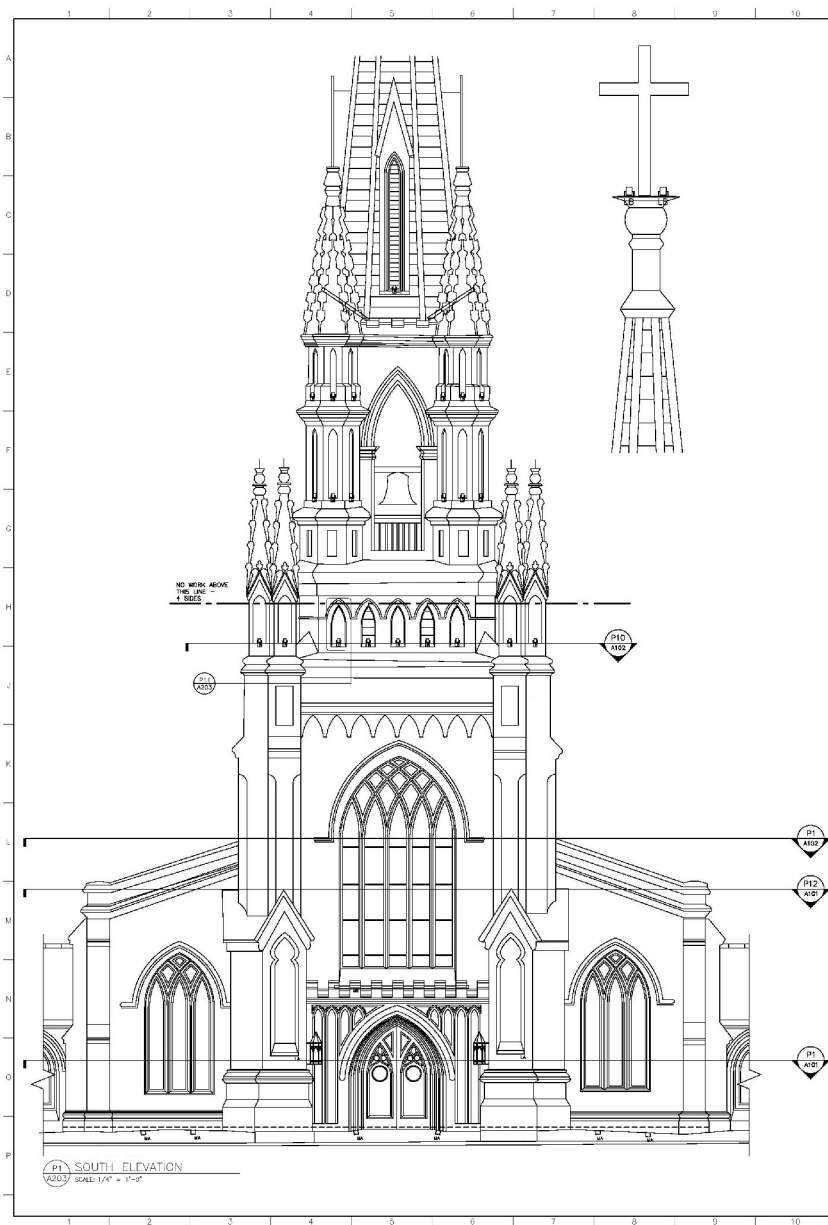
- RN1. CONTINUATION SHALL COMPLY WITH CHURCHES STAINED GLASS STUDIO. A. CONSULTATION FOR THE REPAIRS AND REINSTALLATION OF THE TOWER GLASS WINDOW FRAMES. REPLACE ROTTED OR DAMAGED WOOD WITH HARDWOOD. MAINTAIN OR SPREAD CLAMP. PAINT FRAMES. INSTALL NEW UNPAINTED INSULATED LOW E GLASS. STAINED GLASS FRAMES WILL BE REINSTALLED AS PART OF PHASE 2. SEE DETAIL P16/A102.
- RN2. STRENGTHEN ROOF FRAMING - SEE STRUCTURAL. PROVIDE NEW BRICKWORK. INSTALL NEW FLASHINGS. INSTALL NEW ROOF MEMBRANE.
- RN3. RE-FLASH THE INTERSECTION OF TOWER FRONZELS AND SLATE ROOF. REMOVE SLATE AS REQUIRED. PROVIDE NEW ROOF. PAPER SLATE TO MATCH EXISTING.
- RN4. NOT USED
- RN5. NOT USED
- RN6. NOT USED
- RN7. PROVIDE NEW PAINTED COPPER FLASHING PANS (TYPICAL OF 4).
- RN8. PROVIDE NEW PAINTED COPPER FLASHING. PROVIDE INSET SCREENING AND BRICKWORK (TYPICAL OF 4).
- RN9. PROVIDE NEW PAINTED COPPER FLASHING - TYPICAL.
- RN10. NOT USED
- RN11. REPLACE PLYWOOD FLOORING AND STORM.
- RN12. REPLACE SLATE.
- ALT1. REPLACE APPROXIMATELY 50% OF ALL STUCCO. CUT AND REPAIR ALL STUCCO CHANGES.

CUMMINGS &
McCRADY, INC.
Architects
201 1/2 KING STREET CHARLOTTE, NC 28201
(704) 333-7500

PHASE I
TOWER STABILIZATION
FOR
GRACE EPISCOPAL CHURCH
CHARLOTTE, NC

TOWER REPAIR ELEVATIONS

DESIGNED BY	MM	A202
DRAWN BY	MM	
CHECKED BY	MM	
DATE	01/20/2020	
PROJECT NO.	2019-01	



NO.		DATE	REVISION

CUMMINGS & McCRADY, INC.
Architects
201 LO RAINBOW DRIVE, SUITE 200
CHARLESTON, SC 29405

PHASE I
TOWER STABILIZATION
FOR
GRACE EPISCOPAL CHURCH
CHARLESTON, SC

TOWER REPAIR
TOWER LIGHTING

PROJECT NO.	203
DESIGNED BY	MS
DRAWN BY	MS
CHECKED BY	MS
DATE	04/10/2023
PROJECT NO.	203

A203

1" = 1'-0"

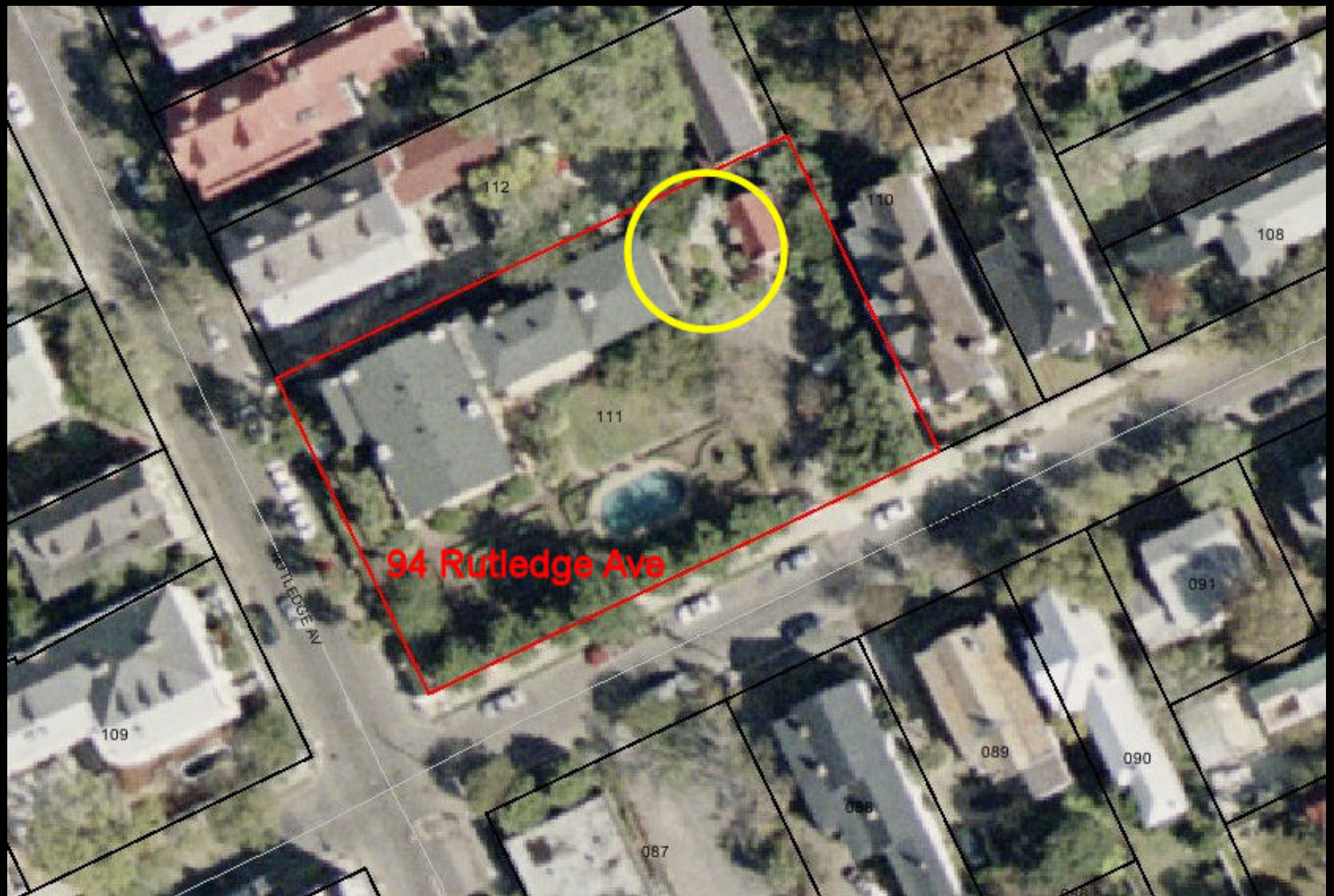


Agenda Item 10:

94 Rutledge Avenue

Final Review for New Construction of Arbors Between Main House and
Dependency

Category 1 / Harleston Village / Old and Historic District



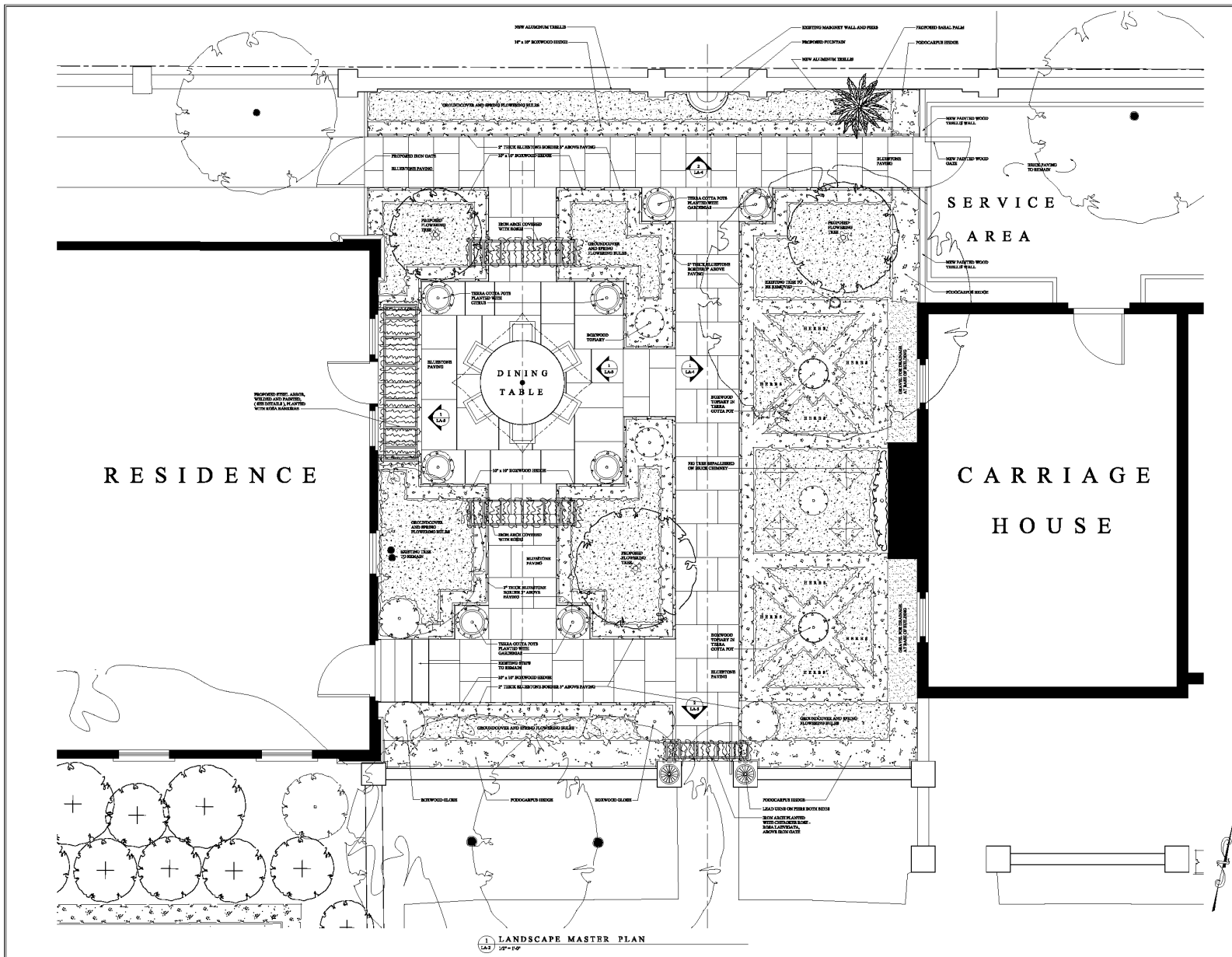












LANDSCAPE MASTER PLAN
1/2" = 1'-0"

CHARLES J. STICK
LANDSCAPE ARCHITECT

230 COURT SQUARE - CHARLESTONVILLE, VIRGINIA 23062 PHONE (404) 246-1426 FAX (404) 246-2444

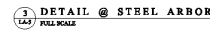
DRAWING TITLE ARBOR PLAN
PROJECT ALTSCHUL RESIDENCE, CHARLESTON, SOUTH CAROLINA

SCALE 1/2" = 1'-0"

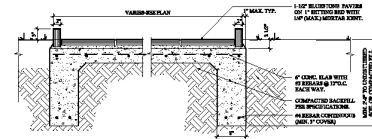
DATE 28 MAY 2000

DRAWING LA-2

DESIGNED NSS, NC, NC



2 ELEVATIONS OF STEEL ARBOR @ GARDEN ENTRANCE
1'-10"



4 SECTION @ STONE PATH
1A-5 1"-1/8"

SCALE: 1/2" = 1'-0"



Agenda Item 11:

156 Wentworth Street

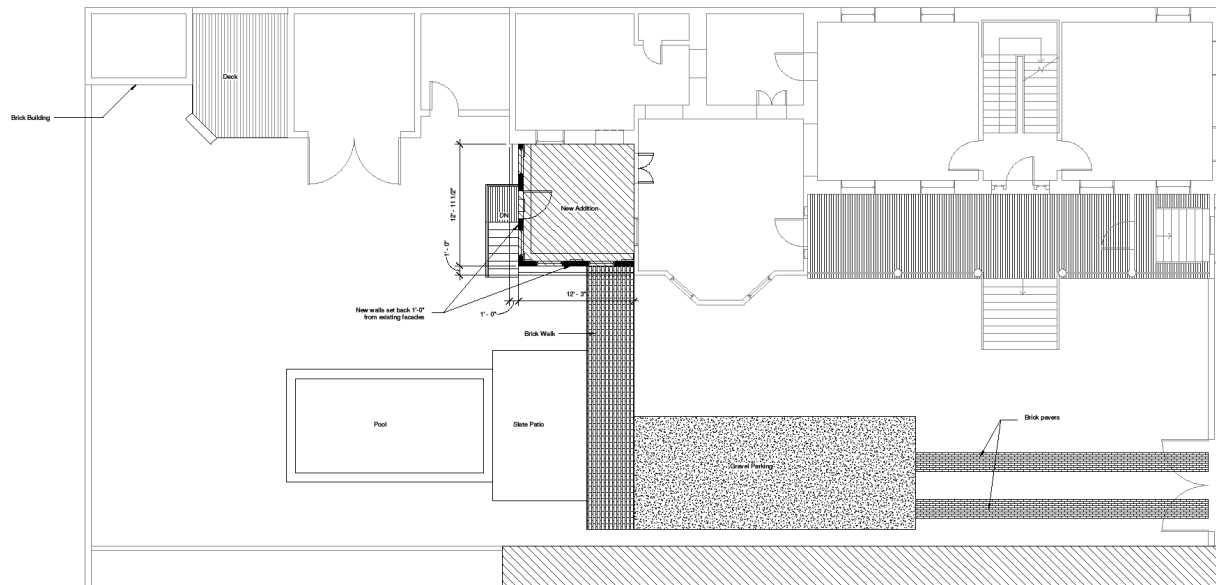
Final Review for Rear Addition Above Existing One-Story Addition

Category 3 / Harleston Village / Old and Historic District









1 Site - New
1/32" = 1'-0"

THE
Middleton
GROUP

1002 Grinnold Street
Mt. Pleasant, SC 29466
P 843.658.1092
F 843.778.9289
www.themiddletongroup.net



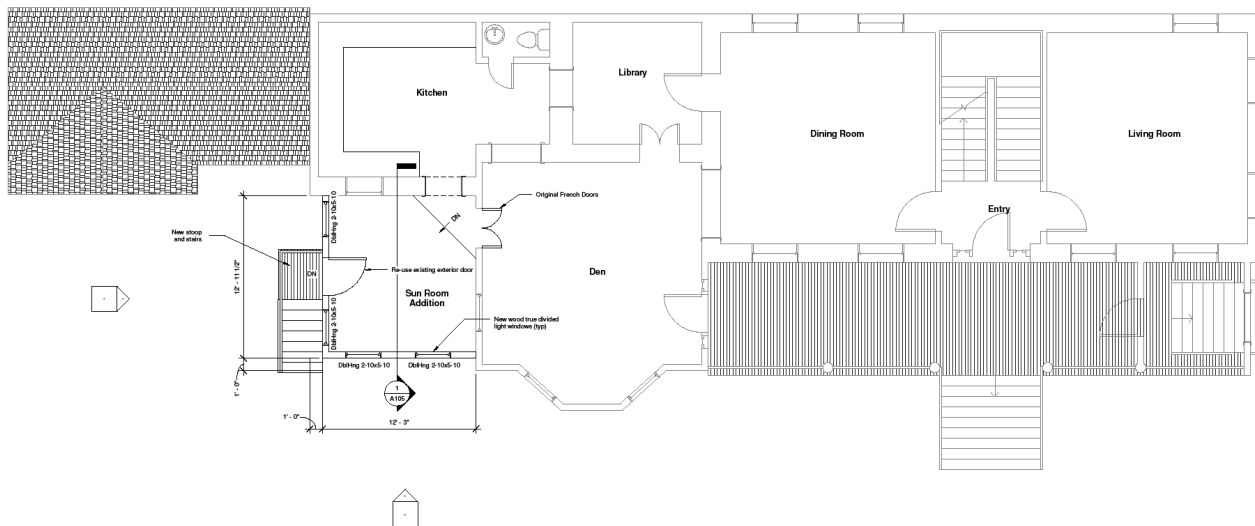
156 Wentworth St.
Second Floor Rear Addition

Project Number	00009
Date	03.16.2000
Drawn by	ALM
Checked by	LKM

Site Plan

A101

9/16/2008 10:38:13 AM



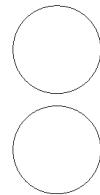
1 First Floor - New
1/4" = 1'-0"

Floor Plan Notes

1. All interior walls are to be framed with 2x4 wood studs @ 16" o.c. unless otherwise noted on plan. All exterior framing within 10' of the ground or that comes in contact with masonry shall be pressure treated. All walls or sections of walls containing pocket doors are to be framed with 2x4 wood studs @ 16" o.c. See structural drawings for additional framing information.
2. Door and window openings should allow for a minimum of 6" clearance of the jamb to accommodate selected interior trim, unless otherwise noted.
3. Field verify all dimensions for cabinetry and built-in design and installation.
4. Comply with elevator manufacturer's specifications and installation instructions. Use 2" materials at ground floor level below floor.
5. Ground insulation on all interior walls and floors.
6. All return air grilles to be decorative stamped aluminum or built-in to cabinetry where shown.
7. All ceilings are full height to underside of framing, unless noted otherwise to accommodate mechanical or for architectural features. All ceilings noted lower than framing to be framed to height noted.
8. All dimensions are to face of framing, masonry, and center of openings unless noted otherwise.

THE
Middleton
GROUP

1092 Grinnell Street
Mt. Pleasant, SC 29466
P 843.654.1092
F 843.276.9289
www.themiddletongroup.net

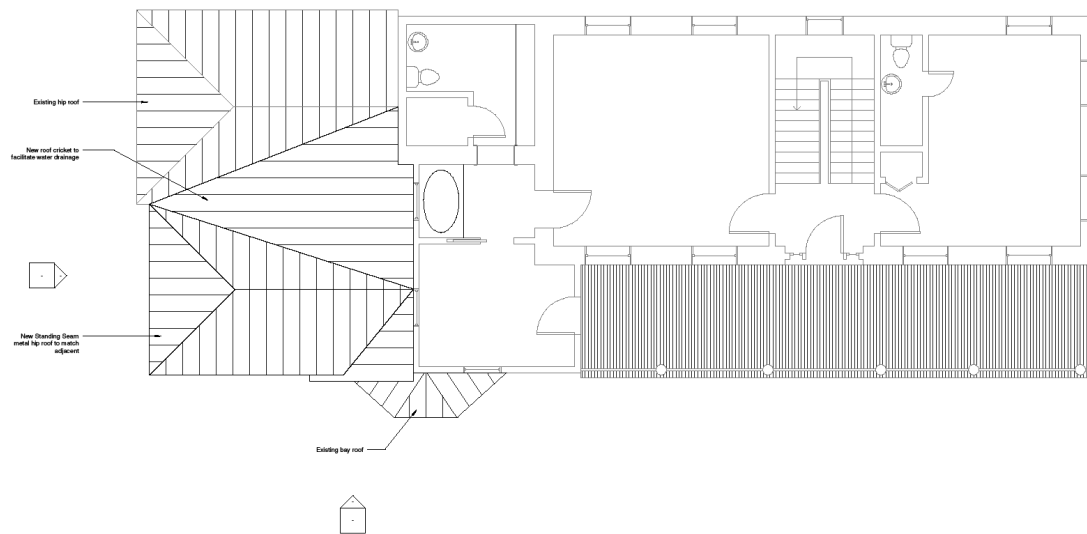


156 Wentworth St.
Sun Room Addition

Project Number	00009
Date	01.20.2009
Drawn by	ALM
Checked by	LJM

First Floor Plan

A102



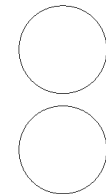
1 Second Floor - New
1/4" = 1'-0"

Floor Plan Notes

1. All interior walls are to be framed with 2x4 wood studs @ 16" o.c. unless otherwise noted on plan. All exterior framing within 10' of the ground or that comes in contact with masonry shall be pressure treated. All walls or sections of walls containing pocket doors are to be framed with 2x6 wood studs @ 16" o.c. See structural drawings for additional framing information.
2. Door and window openings should allow for a minimum of 6" clearance of the jamb to accommodate selected interior trim, unless otherwise noted.
3. Field verify all dimensions for cabinetry and built-in design and installation.
4. Comply with elevator manufacturer's specifications and installation instructions. Use p.i. materials at ground floor level below floor.
5. Board insulation on all interior walls and floors.
6. All return air grills to be decorative stamped aluminum or built-in to cabinetry where shown.
7. All ceilings are full height to underside of framing, unless noted otherwise to accommodate mechanical or for architectural features. All ceilings noted lower than framing to be framed to height noted.
8. All dimensions are to face of framing, masonry, and center of openings unless noted otherwise.

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156 Wentworth St.
Sun Room Addition

Project Number	00009
Date	01.20.2009
Drawn by	ALM
Checked by	LJM

Second Floor
Plan

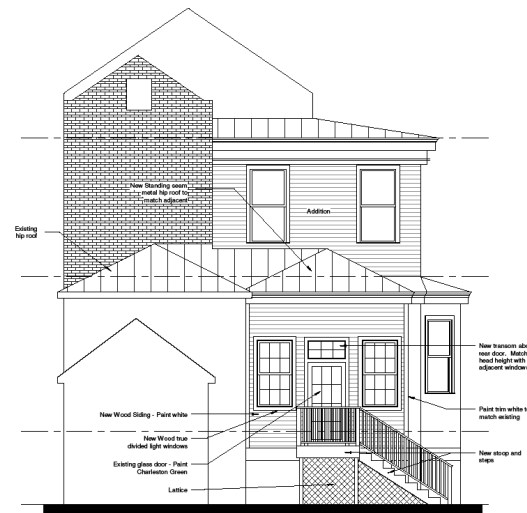
A103

1/20/2009 8:40:23 PM



1 Courtyard Elevation - New

1/4" = 1'-0"



2 Rear Elevation - New

1/4" = 1'-0"

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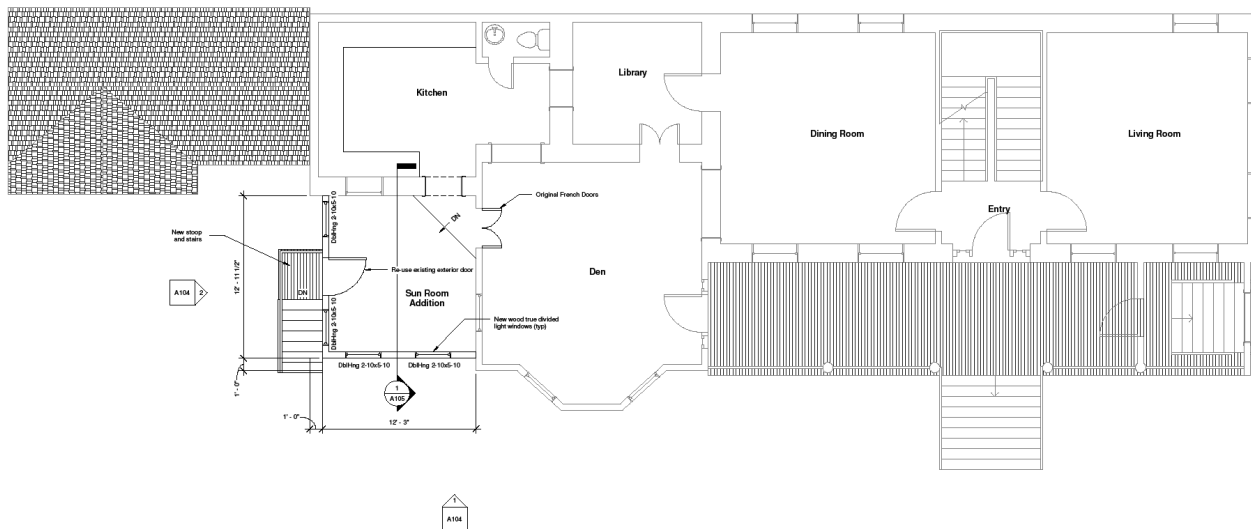
156 Wentworth St.
Sun Room Addition

Project Number	00009
Date	01.20.2009
Drawn by	ALM
Checked by	LJM

Elevations

A104

1/2" = 1'-0"



1 First Floor - New
1/8" = 1'-0"

Floor Plan Notes

1. All interior walls are to be framed with 2x4 wood studs @ 16" o.c., unless otherwise noted on plan. All exterior framing within 10' of the ground or that comes in contact with masonry shall be pressure treated. All walls or sections of walls containing pocket doors are to be framed with 2x4 wood studs @ 16" o.c. See structural drawings for additional framing information.
2. Door and window openings should allow for a minimum of 8" clearance of the jamb to accommodate selected interior trim, unless otherwise noted.
3. Field verify all dimensions for cabinetry and built-in design and installation.
4. Comply with elevator manufacturer's specifications and installation instructions. Use 2-1/2" materials at ground floor level below floor.
5. Ground insulation on all interior walls and floors.
6. All return air grilles to be decorative stamped aluminum or look-in to cabinetry where shown.
7. All ceilings are full height to underside of framing, unless noted otherwise to accommodate mechanical or for architectural features. All ceilings noted lower than framing to be framed to height noted.
8. All dimensions are to face of framing, masonry, and center of openings unless noted otherwise.

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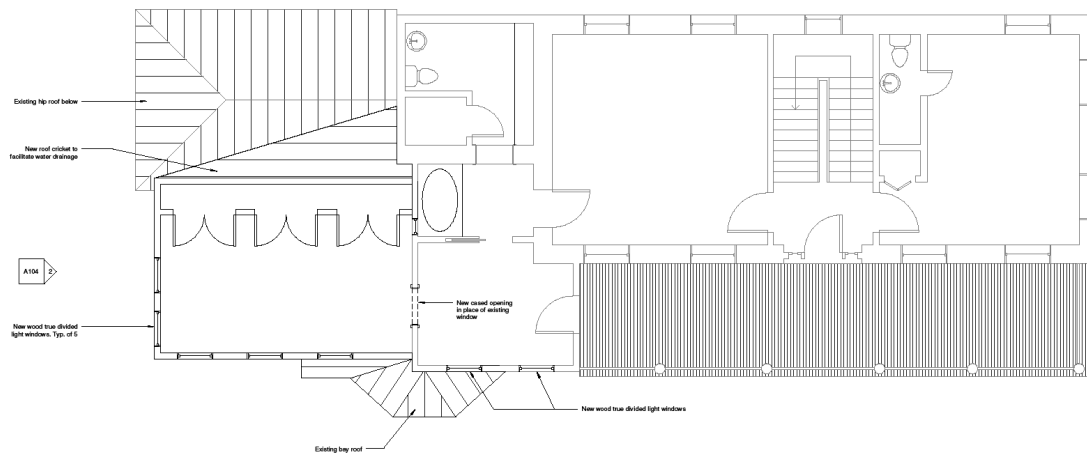


156 Wentworth St.
Second Floor Rear Addition

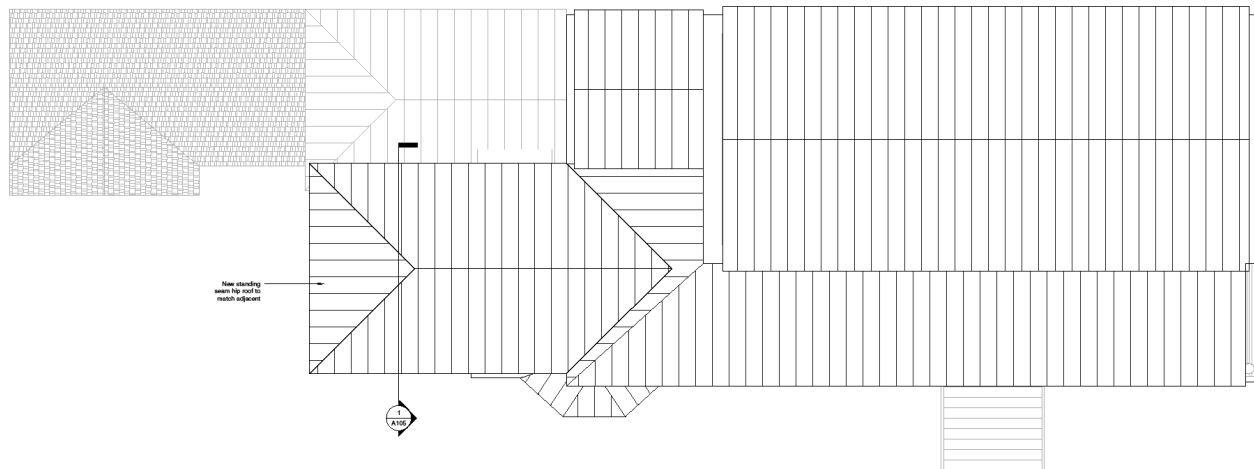
Project Number	00009
Date	03.16.2009
Drawn by	ALM
Checked by	LJM

First Floor Plan

A102



1 Second Floor - New
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"

Floor Plan Notes

1. All interior walls are to be framed with 2x4 wood studs @ 16" o.c. unless otherwise noted on plan. All exterior framing within 10' of the ground or that comes in contact with masonry shall be pressure treated. All walls or sections of walls containing pocket doors are to be framed with 2x6 wood studs @ 16" o.c. See structural drawings for additional framing information.
2. Door and window openings should allow for a minimum of 6" clearance of the jamb to accommodate selected interior trim, unless otherwise noted.
3. Field verify all dimensions for cabinetry and built-in design and installation.
4. Comply with elevator manufacturer's specifications and installation instructions. Use p.i. materials at ground floor level below floor.
5. Sound insulation on all interior walls and floors.
6. All return air grills to be decorative stamped aluminum or built-in to cabinetry where shown.
7. All ceilings are full height to underside of framing, unless noted otherwise to accommodate mechanical or for architectural features. All ceilings noted lower than framing to be framed to height noted.
8. All dimensions are to face of framing, masonry, and center of openings unless noted otherwise.

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www.themiddletongroup.net



156 Wentworth St.
Second Floor Rear Addition

Project Number	00009
Date	05.16.2009
Drawn by	ALM
Checked by	LM

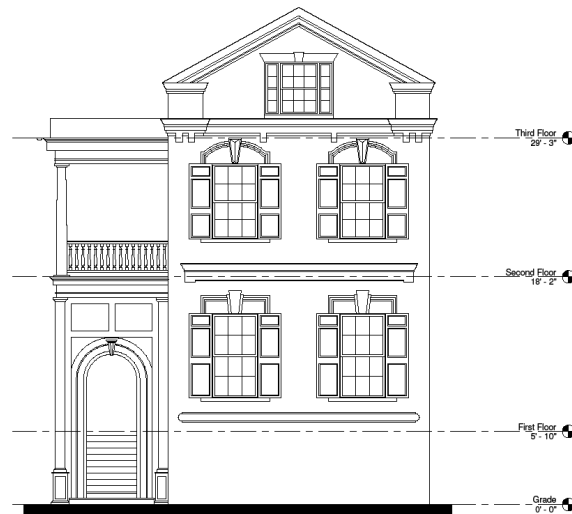
Second Floor
and Roof Plan

A103

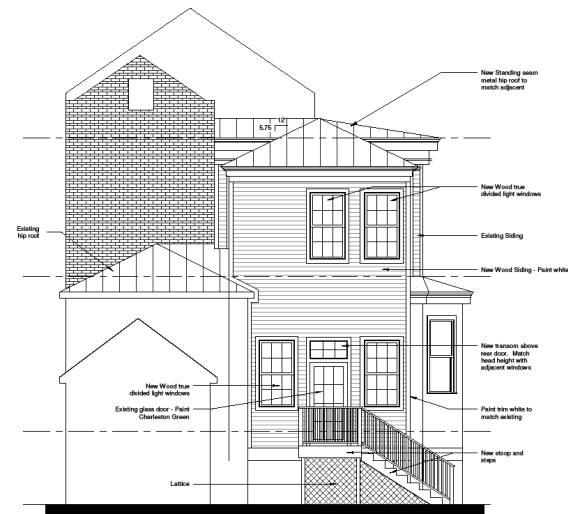
5/16/2009 10:10:27 AM



1 Courtyard Elevation - New
1/4" = 1'-0"



3 Street Elevation - No Work
1/4" = 1'-0"



2 Rear Elevation - New
1/4" = 1'-0"

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Middleton
GROUP

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Mt. Pleasant, SC 29466
P 843.654.1092
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www.themiddletongroup.net



156 Wentworth St.
Second Floor Rear Addition

Project Number	08009
Date	05.16.2009
Drawn by	AKM
Checked by	LJM

Elevations

A104

5/16/2009 10:10:12 AM



Agenda Item 12:

1 Montagu Street

Conceptual Review for New Construction of Single-Family Residence
at Rear of Property

Harleston Village / Old and Historic District



MONTAGU STREET LOOKING SOUTH

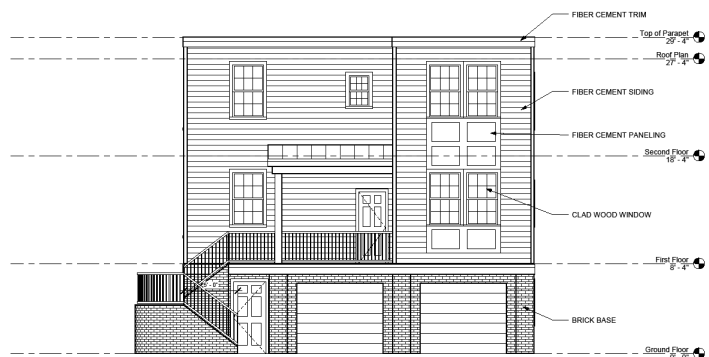


EXISTING 1 MONTAGU STREET BUILDING

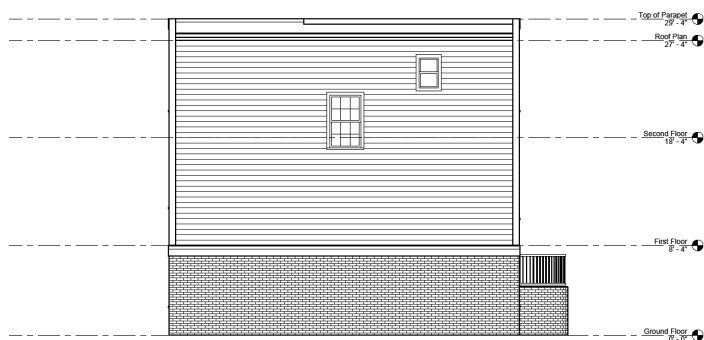




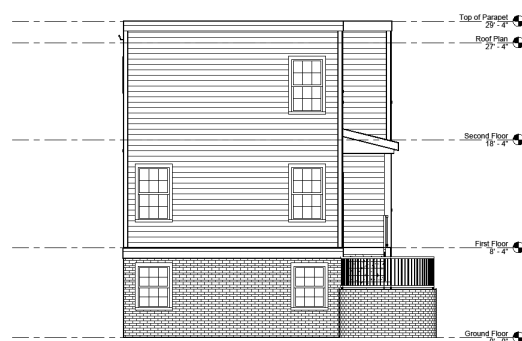
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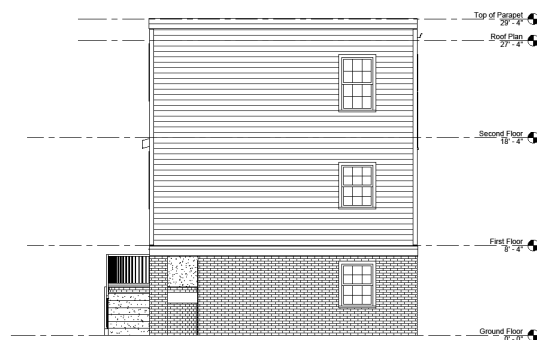
① West Elevation
1/4" = 1'-0"



③ East Elevation
1/4" = 1'-0"



② North Elevation
1/4" = 1'-0"



④ South Elevation
1/4" = 1'-0"

REVISION	DATE	BY	CHKD	APPD	DESCRIPTION
1	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
2	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
3	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
4	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
5	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
6	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
7	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
8	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
9	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL
10	01/10/2020	ADP	ADP	ADP	CONCEPT SUBMITTAL

Concept Submittal

493 King Street Suite 100 Charleston, SC 29403 843.577-6377

1 Montague Street
Charleston, SC 29401

Proposed
Elevations

A202

Click/Boehm & Associates, Inc. Architecture/Planning/Interior Design



Agenda Item 13:

940 Paul Revere Drive
Stiles-Hinson House

Conceptual Review for New Construction of Free-Standing Pavilion

Category 1 / Stiles Point / Landmark Overlay

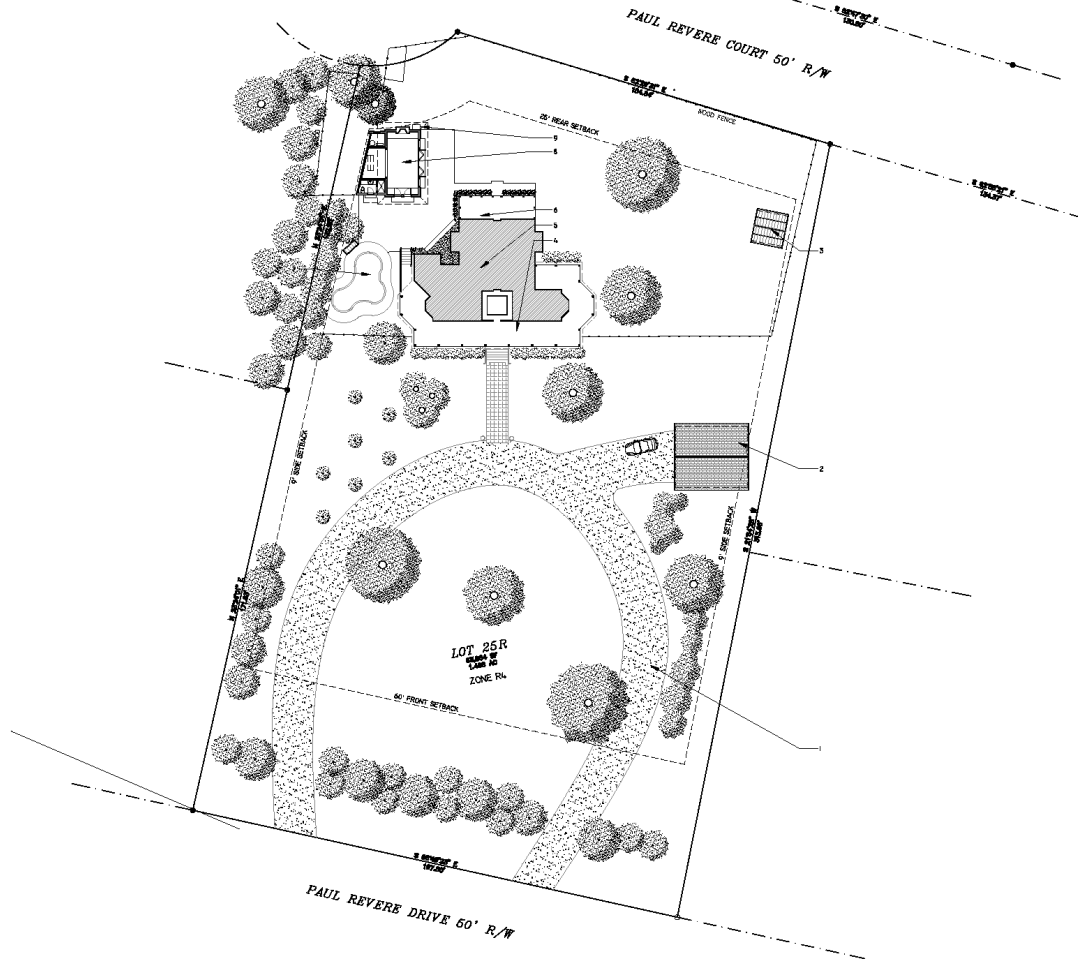












1" = 40' 0"

1" = 20' 0"

MG
architects
80 ARCHITECTS, LLC 14 BARNWOOD AVE. CHARLESTON, SC 29403
784-863-7747 784-863-7428 info@mgarchitects.com

GENERAL NOTES

- TAX MAP NUMBER 420800000.
- SET BACKS: FRONT STREET SIDE: 10' INTERIOR SIDE: 10' REAR: 10'
- MAXIMUM BUILDING HEIGHT: 20'-0" / 2 1/2 STORIES PROPOSED ADDITION HEIGHT: 10'-0"
- MAXIMUM LOT COVERAGE: 30% LOT AREA: 61,648 SQFT MAXIMUM ALLOWABLE: 18,494 SQFT PROPOSED TOTAL LOT COVERAGE: 29.9% SQFT

THIS PROPERTY IS PART OF THE CITY OF CHARLESTON OVERLAY MAP, AS SUCH THIS PROPERTY IS SUBJECT TO REVIEW BY THE BOARD OF ARCHITECTURAL REVIEW.

ADDITION INFORMATION

1ST FLOOR HEATED AREA	594 SQFT
PORCHES	3 SQFT
SECOND FLOOR AREA	3 SQFT
TOTAL	594 SQFT
PROPOSED ADDITION BUILDING FOOTPRINT	594 SQFT

EXISTING BUILDING INFORMATION

MAIN HOUSE BUILDING FOOTPRINT	3,304 SQFT
GARAGE BUILDING FOOTPRINT	705 SQFT
GARDEN WOOD BUILDING FOOTPRINT	56 SQFT
TOTAL	4,065 SQFT

NUMBERED NOTES

- EXISTING SPRAWL DRIVE.
- EXISTING TWO CAR GARAGE.
- EXISTING GARDEN WOOD, PROPOSED NEW LOCATION.
- EXISTING OPEN POND.
- EXISTING RESIDENCE.
- EXISTING SCREENED PORCH.
- EXISTING POOL.
- PROPOSED ADDITION.
- HVAC PLATFORM.

GARDEN PAVILION
840 PAUL REVERE DRIVE
LOT 25R STILE POINT PLANTATION

0722

A100

BAR 052709

SITE PLAN
1" = 20' 0"



REVISION No. & DATE

NUMBERED NOTES

AREA INFORMATION

1ST FLOOR HEATED AREA 1934 sqft

TOTAL	684 wpi
-------	---------

GARDEN PAVILION
940 PAUL REVERE DRIVE
LOT 25R STILE POINT PLANTATION

0 7 2 2

A101

BAR 05 27 09

PLAN
1/4" = 1'-0"

1st. AVE
CR. AVE



MG ARCHITECTS, LLC 14 ELMWOOD DR. LAWRENCE, SC 29403
781-453-7747 FAX 781-453-7748 mgarchitects@mgarchitects.com

GENERAL NOTES

REVISION No. & DATE

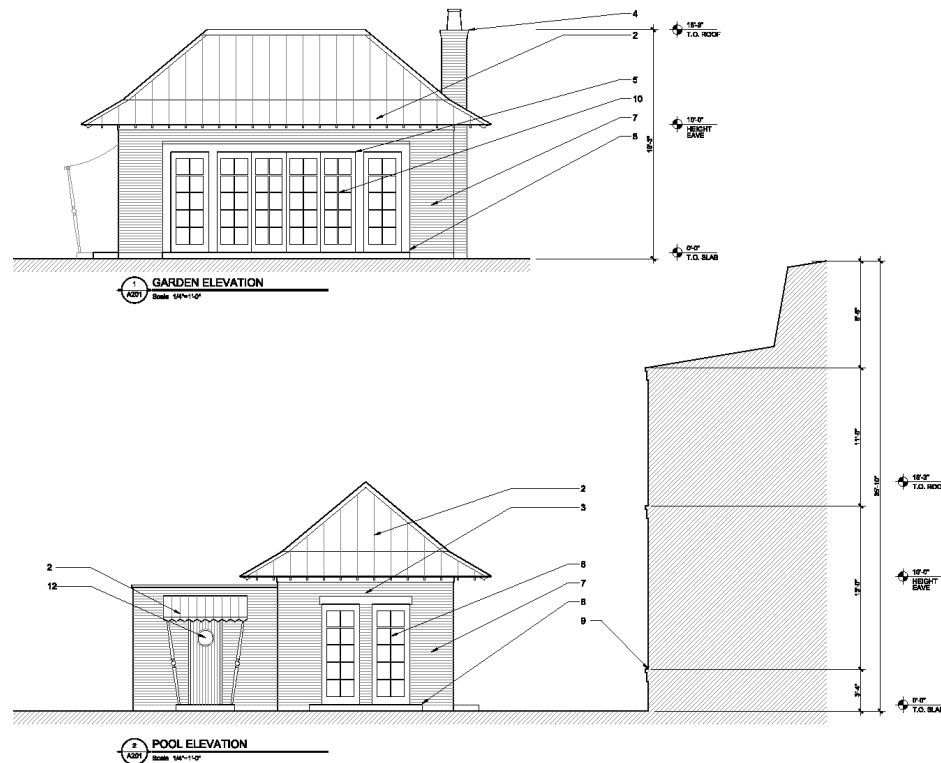
NUMBERED NOTES

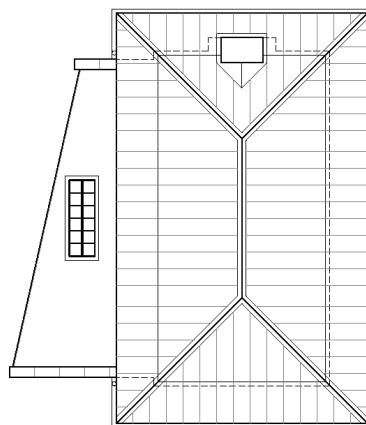
1. DECORATIVE METAL AWNING WITH DECORATIVE METAL SUPPORTS.
2. LEAD COATED COPPER ROOF.
3. STONE LINTEL.
4. STONE LAY.
5. WOOD FRAME.
6. WOOD SHUTTER WITH DIVIDED LITES.
7. COATED BRICK.
8. STONE STEPS.
9. PROFILE OF EXISTING HOUSE.
10. GLAZED FOLDING WOOD DOOR.
11. FUSED WOOD DOORS.
12. WOOD SHUTTER WITH CIRCULAR WINDOW.

GARDEN PAVILION

940 PAUL REVERE DRIVE
LOT 25R STILE POINT PLANTATION

0 1 2 2
A201 BAR 05 27 09
BUILDING ELEVATIONS
1/4" = 1'-0"





18. AVE
CL. AVE



GENERAL NOTES

REVISION No. & DATE

NUMBERED NOTES

GARDEN PAVILION
940 PAUL REVERE DRIVE
LOT 25R STILE POINT PLANTATION

0 1 2 3

A151

BAR 05 27 09

ROOF PLAN
1/4" = 1'-0"

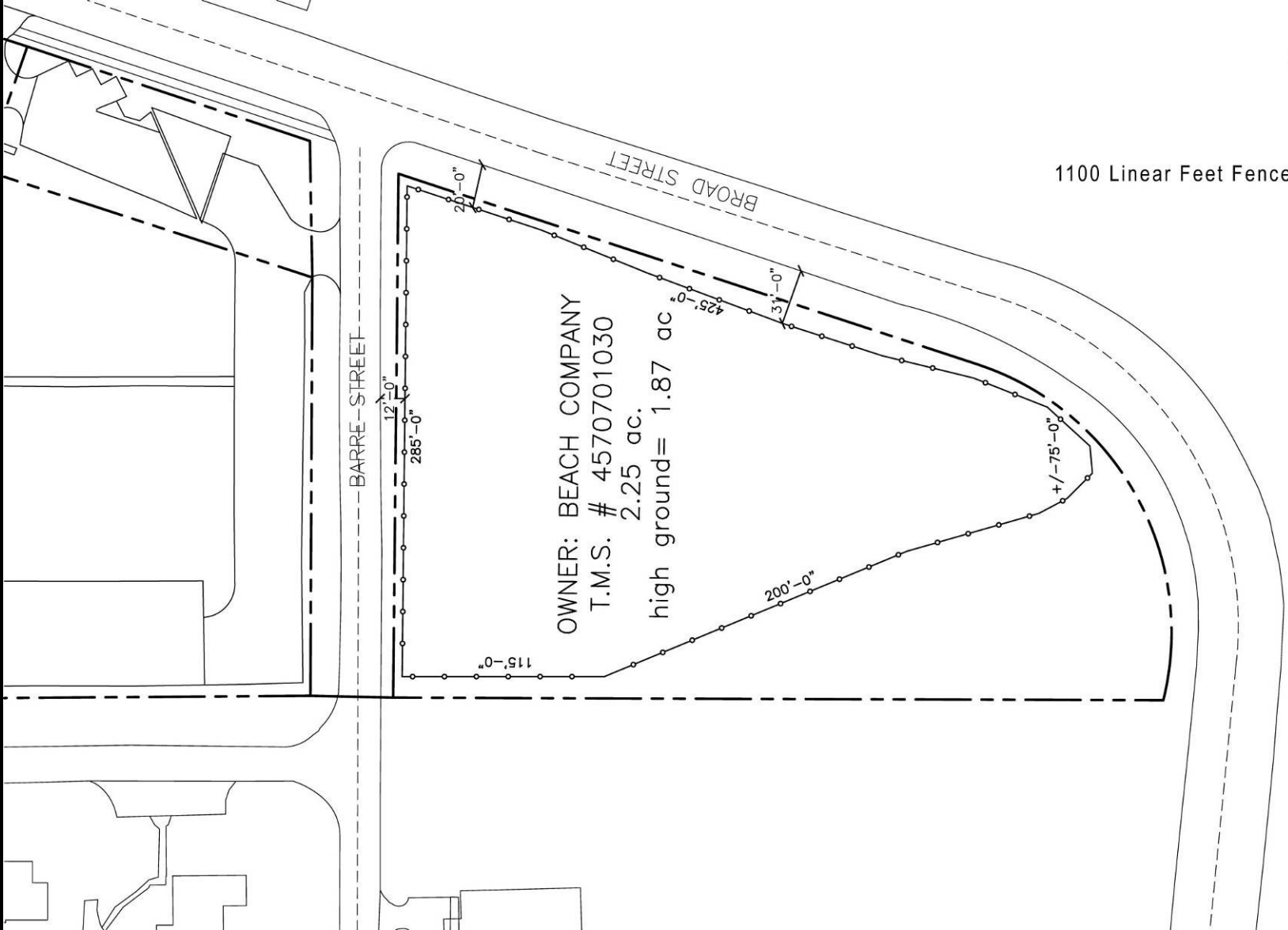


Agenda Item 14:

Tract 1, NW Corner of Barre and Broad Street

After-the-Fact Review for Chain-Link Fence Around Vacant Lot

Harleston Village / Old and Historic District



Prepared for:
The Beach Company
211 King St., Suite 300
Charleston, SC 29401
ph: 843.722.2615
SCALE: 1"=50'

DesignWorks, LC
50 George Street
Charleston, South Carolina
29401
843.723.5525
fax 843.853.3498

ST. MARY'S FIELD | BUFFER IMPROVEMENTS | CHARLESTON, SC









Prepared for:
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211 King St., Suite 300
Charleston, SC 29401
ph: 843.722.2615
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